

## **7.700 Specific Standards for Ridgewalk District**

### **7.701 Purpose and Intent of the Ridgewalk District**

The regulations set forth in the Ridgewalk District are designed to:

1. Set a standard for development which will create a vibrant activity center in a unique style which complements the existing conditions of the area.
2. Create an environment where residents and visitors can live, work, meet, and play.
3. Encourage a balanced and sustainable mix of professional office, retail, residential, civic, entertainment, hospitality and cultural uses.
4. Enhance the efficient utilization of parking facilities by encouraging shared, underground and deck parking and alternative modes of transportation.
5. Provide safe and accessible parks and plazas.
6. Improve the aesthetics of the public realm and built environments.
7. Promote pedestrian safety by ensuring sidewalk-oriented buildings and attractive street-facing facades that foster pedestrian activity and liveliness.
8. Provide and promote safe and complete interconnected streets that focus on pedestrians and bicycles while accommodating efficient vehicular travel at appropriate speeds.

### **7.702 Ridgewalk District Zone Overview**

1. Gateway Center (RW-GATE) zone is the most intense, promoting multi-story buildings with active ground floor uses and office and lodging uses on upper floors.
2. Town Center (RW-TC) creates an active public realm through vertical mixed-use buildings fronting on Ridgewalk Parkway and Ridge Trail. The streetscape design standards for each of these streets create a highly walkable edge which is further enhanced by required active ground floor uses.
3. Corridor (RW-COR) zone allows a variety of uses, buildings and frontage types with their primary façade oriented towards the public realm. Multi-story, multi-family and workplace buildings are permitted, with limited commercial development. Corridor zones are located adjacent to and offer easy walks to the more intense center zones. A Corridor zone may be dominated by a single-use (housing or workplace).
4. Neighborhood Corridor (RW-NBC) zone is a linear zone along a street whose character is more residential. The Neighborhood Corridor zone transitions from an activity zone into a neighborhood zone, but still allows some limited commercial uses in the form of live-work units. Single-family attached products, similar to row houses are permitted in this zone.
5. Neighborhood (RW-NB) zone forms a transition between the activity districts and the established neighborhoods or natural areas. The Neighborhood zone includes both single-family detached and attached products on small lots, fostering a compact neighborhood environment.

6. Workplace (RW-WP) zone retains the character of the district through the design guidelines, but allows for more of the light-industrial uses needed in the area. Larger setbacks and more flexibility for large building design are permitted in a well-landscaped setting. Limited commercial uses are permitted.
7. Retail/Entertainment (RW-RE) zone includes areas designated for larger destination centers dominated by single-use buildings. Mixed-use development within this zone is still encouraged in the form of multi-family residential or office components. The Retail/Entertainment zone still focuses on streetscape standards, but allows for more flexibility in site planning for high-use destinations.

**7.703 Applicability**

The development regulations in this section apply to those parcels being developed or under construction as identified in the Ridgewalk District on the City of Woodstock’s Official Zoning Map.

**7.704 Regulations Summary Charts**

The development regulations required by each of the district zones in the Ridgewalk district are outlined below. For the purposes of this chart a ‘P’ shall mean an option is permitted and ‘n/a’ shall mean that the regulation is not applicable to that district. Where an option is not specifically permitted, it shall be prohibited. Further explanation of each of the development regulations follows.

	RW-GATE	RW-TC	RW-COR	RW-NBC	RW-NB	RW-WP	RW-RE
<b>7.704 (a) - Complete Street Program</b>							
Block Face (min/max ft)	400/600	400/600	400/600	200/400	200/400	n/a	n/a
Block Perimeter (max ft)	2,400	2,400	2,400	1,600	1,600	n/a	n/a
Ridgewalk Parkway	P	P	P				P
Woodstock Parkway	P		P				P
Local Mixed-use (Type B)	P	P	P			P	P
Local Residential (Type D1)				P	P		
Alley Mixed-use (Type F1)	P	P	P			P	P
Alley Residential (Type F2 or F3)				P	P		

	RW-GATE	RW-TC	RW-COR	RW-NBC	RW-NB	RW-WP	RW-RE
<b>7.704 (b) - Open Space Requirements</b>							
Plaza	P	P	P			P	P
Square	P	P	P			P	P
Green			P	P	P		
Pocket Park			P	P	P		
Greenway Trail	P	P	P	P	P	P	P
Undisturbed Area	P	P	P	P	P	P	P
Pedestrian Shed (max ft)	2,640	2,640	1,320	1,320	1,320	2,640	2,640

	RW-GATE	RW-TC	RW-COR	RW-NBC	RW-NB	RW-WP	RW-RE
<b>7.704 (c) - Building Placement</b>							
Front Setback (min/max ft)	5/10	5/10	5/10	5/10	5/20	10/ none	10/ none
Side Street Setback (min/max ft)	5/10	5/10	5/10	5/10	5/10	n/a	n/a
Side Yard Setback (min ft)	10	10	10	5	5	10	10
Frontage Coverage (min)	75%	75%	60%	60%	60%	n/a	n/a
Rear Setback (min ft)	0	0	5	5	5	0	0

	RW-GATE	RW-TC	RW-COR	RW-NBC	RW-NB	RW-WP	RW-RE
<b>7.704 (d) - Height</b>							
Primary Building (max number of floors)	10	5	5	3	3	5	5
Accessory Building (max ft)	60	30	30	20	20	30	30

	RW-GATE	RW-TC	RW-COR	RW-NBC	RW-NB	RW-WP	RW-RE
<b>7.704 (e) - Frontage Type</b>							
Arcade	P	P				n/a	P
Storefront	P	P	P			n/a	P
Terrace			P	P		n/a	
Stoop			P	P	P	n/a	
Porch				P	P	n/a	
Common Yard					P	n/a	

	RW-GATE	RW-TC	RW-COR	RW-NBC	RW-NB	RW-WP	RW-RE
<b>7.704 (f) - Building Type</b>							
Commercial Block	P	P				n/a	P
Stacked Dwelling			P			n/a	
Rearyard			P	P	P	n/a	
Sidyard				P	P	n/a	
Edgeyard					P	n/a	

## **7.705 Complete Street Program**

The design guidelines in the Ridgeway District start with urban design standards of the Streetscape. The Streetscape is composed of four elements including vehicular thoroughfares, pedestrian facilities, visible private frontages and the amenities of public frontages. Vehicular thoroughfares include standards for vehicular travel lanes, bicycle travel facilities and on-street parking. Pedestrian facilities include standards for sidewalks or paths. Visible private frontages include building facades, elevations, porches, yards, fences, awnings, etc. Public frontage amenities include street trees, plantings, benches, trash receptacles, streetlights, etc.

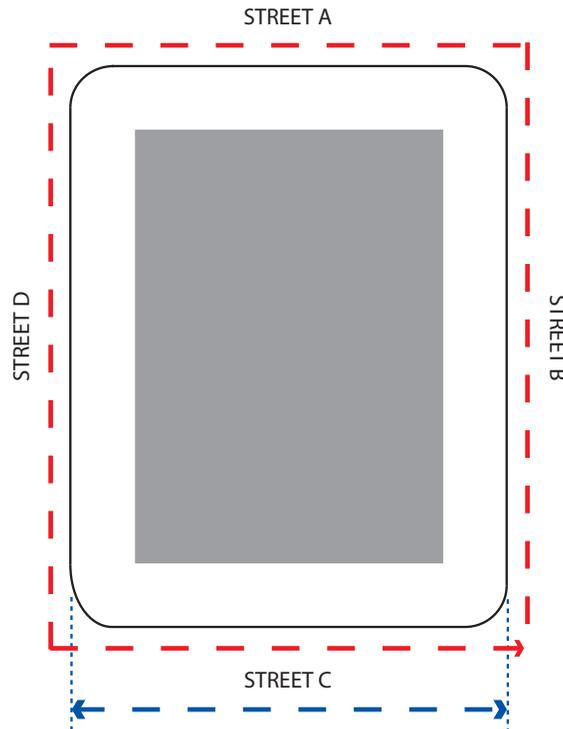
The Complete Street Program dictates the design of the Streetscape through the definition of appropriate Street Types. The Street Type(s) which are permitted are determined by the District Zone as specified in section 7.704(a), Complete Street Program within the Regulations Summary Chart.

### 1. Block Face and Perimeter

A Block is defined as an area of land made up of private lots which is bordered on all sides by accessible streets. For the purposes of the Ridgeway District, a Block Face is the length of frontage along any one street between intervening streets. A Block Perimeter is the length of frontage around an entire Block beginning at one point and ending at the same point. Alleyways which are used in conjunction with a Block do not count as an intervening Street.

In Figure 1 below, the measurement of the Block Face is represented by the blue dashed line segment along street C, while the measurement of the Block Perimeter is represented by the red dashed line segment starting and ending at the intersection of streets B and C.

**Figure 1: Example of Block Face and Perimeter Measurements**



## 2. Street Types and Alleyway Types

The permitted Street Types and Alleyway Types shall be designed in accordance with the design regulations as required in section 7.704 (a) are listed in the table below and shown in Street Type Illustrations in section 7.732. An Alleyway shall only be used as a secondary means of access to an abutting property. Private lots are not required to front on a street if they are accessed through an Open Space, but must still maintain 150 foot distance as required by the City's Fire Department.

Street Type Table - Pavement Requirements				
	Number of Travel Lanes	Maximum Lane Width	On-Street Parking (max width)	Total Pavement Width (not including median, if present)
Ridgewalk Pkwy	4	10.5 ft	n/a	42 ft
Woodstock Pkwy	4	9.5 ft	n/a	38 ft
Local Mixed-use (Type B)	2	10 ft	7.5 ft	35 ft
Local Residential (Type D1)	2	10 ft	7 ft	34 ft

Street Type Table - Sidewalk Area Requirements					
	Sidewalk Landscape Zone	Sidewalk Clear Zone	Sidewalk Supplemental Zone (min/max)	Street Trees in Sidewalk Landscape Zone	Total Width (min/max)
Ridgewalk Pkwy	10 ft	6/10* ft	5/10 ft	40 ft o.c.	21/30 ft
Woodstock Pkwy	6 ft	6/10* ft	5/10 ft	40 ft o.c.	17/26 ft
Local Mixed-use (Type B)	7 ft	10 ft	5 ft	40 ft o.c.	22/30 ft
Local Residential (Type D1)	7 ft	5 ft	5/20 ft	40 ft o.c.	17/32 ft

\*where Greenprints Trail is required, minimum clear zone is 10 ft.

Alleyway Type Table					
	Pavement Width (min/max)	Alleyway Shoulder Width	ROW Width (min/max)	Minimum Alleyway Setback	ROW Requirement
Mixed-use (Type F1)	18/20 ft	4 ft	26/28 ft	None	None
Residential (Type F2)	10/12 ft	4 ft	20/24 ft	None	Garage Wall
Residential (Type F3)	10 ft	5 ft	20 ft	18/20 ft	Fence or Wall

## **7.706 Open Space Requirements**

All developments within the Ridgewalk District shall be required to maintain Open Space. Open Space is defined as an outdoor area which is dedicated for public use and may be improved for pedestrian use and amenity. The minimum requirement for Open Space shall be fifteen (15) percent of the parcel area and shall meet the distance requirements as defined by a Pedestrian Shed. A property's permitted Open Space is determined by the District Zone as specified in section 7.704 (b), Open Space Requirements within the Regulations Summary Chart.

In addition to the definition requirements, Open Space shall be designed and constructed pursuant to the following regulations:

- (a) Active amenity areas such as swimming pools and tennis courts shall not be included in Open Space calculations.
- (b) Detention ponds and required stream buffers shall not be included in Open Space calculations.
- (c) The owner shall submit a maintenance agreement establishing a mechanism acceptable to the City for maintaining Open Space within the subject development.
- (d) Open Space dedication shall be guaranteed through bonds, conservation easements, land donation to the City or permanent deed restriction. In lieu of Open Space requirements, a cash value contribution shall be provided to the City's open space bank, which shall be equivalent to the square footage value of the subject land (determined by a current certified appraisal provided by the landowner) multiplied by the square footage of the Open Space requirement.

### 1. Plaza

A Plaza is defined as an Open Space, available for civic purposes and commercial activities. A Plaza shall be spatially defined by building frontages. The design of a Plaza shall consist primarily of hardscape surfaces with trees and pedestrian amenities. A Plaza is required to have a publicly accessible connection to a street. The minimum size of a Plaza shall be one-quarter (0.25) acre.

### 2. Square

A Square is defined as an Open Space, available for unstructured recreation and civic purposes. A Square is spatially defined by building frontages and/or street frontages. The design of a Square shall consist of formal paths, lawns and trees. The minimum size of a Square shall be one-half (0.5) acre.

### 3. Green

A Green is defined as an Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building frontages. The design of a Green shall consist of lawn and trees which are naturalistically disposed. The minimum size of a Green shall be one-half (0.5) acres.

### 4. Pocket Park

A Pocket Park is defined as Open Space, available for unstructured recreation. A Pocket Park may be independent of surrounding building frontages. The design of a Pocket Park shall consist of

paths, lawn and trees which are naturalistically disposed. The minimum size of a Pocket Park shall be one-quarter (0.25) an acre.

### 5. Greenway Trail

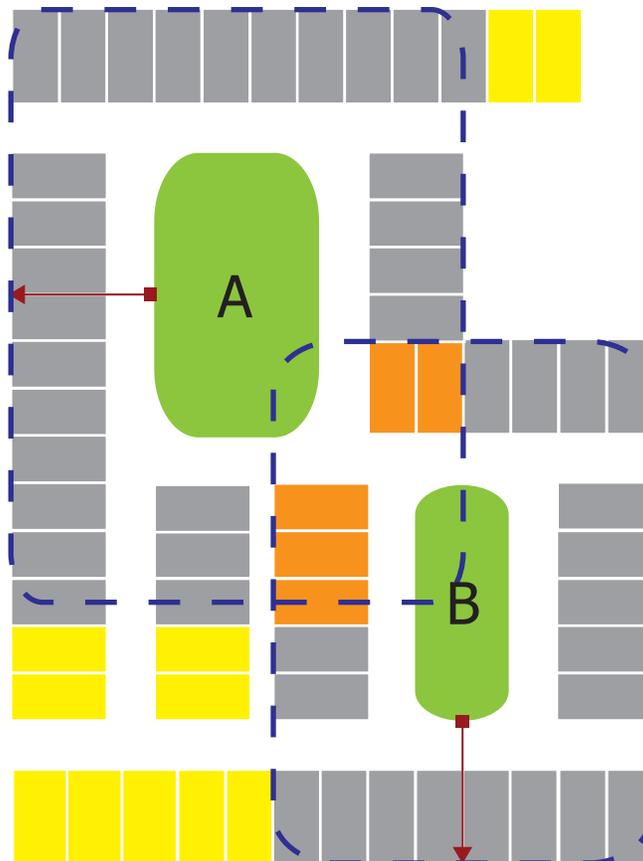
A Greenway Trail is defined as a trail used by pedestrian and non-motorized vehicles which are identified in the City's Greenprints Project document. When a Greenway Trail is developed to the standards identified in the City's Greenprints Project document, the associated square footage of dedicated area shall count towards Open Space requirements. 1. Pedestrian Shed

### 6. Pedestrian Shed Requirements

A Pedestrian Shed is defined as an area within the required distance that is measured to the edge of a common destination. For the purpose of the Ridgewalk District, the common destination shall be an allowable Open Space. Any building shall be located within a Pedestrian Shed as determined by the District Zone specified in section 7.704 (b), Open Space Requirements within the Regulations Summary Chart.

In Figure 2 below, the Open Spaces represented by greens A and B measure each pedestrian shed from the edge of the Open Space establishing the required Pedestrian Shed, represented by the blue dashed line segment. Those buildings meeting the requirements of the Pedestrian Shed are represented by the grey rectangles, while those falling outside of the requirements are represented by the yellow rectangles.

**Figure 2: Example of Pedestrian Shed Measurements**



### **7.707 Building Placement**

The Building Placement regulations in the Ridgewalk District begin with the implementation of the Complete Street Program defined in section 7.704 (a) of the Regulations Summary Chart. Placement of buildings will be based on the location of the edge of street right-of-way (private property line) following street construction, reconstruction or approved plans by the City for future street reconstruction.

#### **1. Front Setback**

The Front Setback is measured as the permitted distance from the property line along a Front Street to the primary building façade as shown in Figure 3.

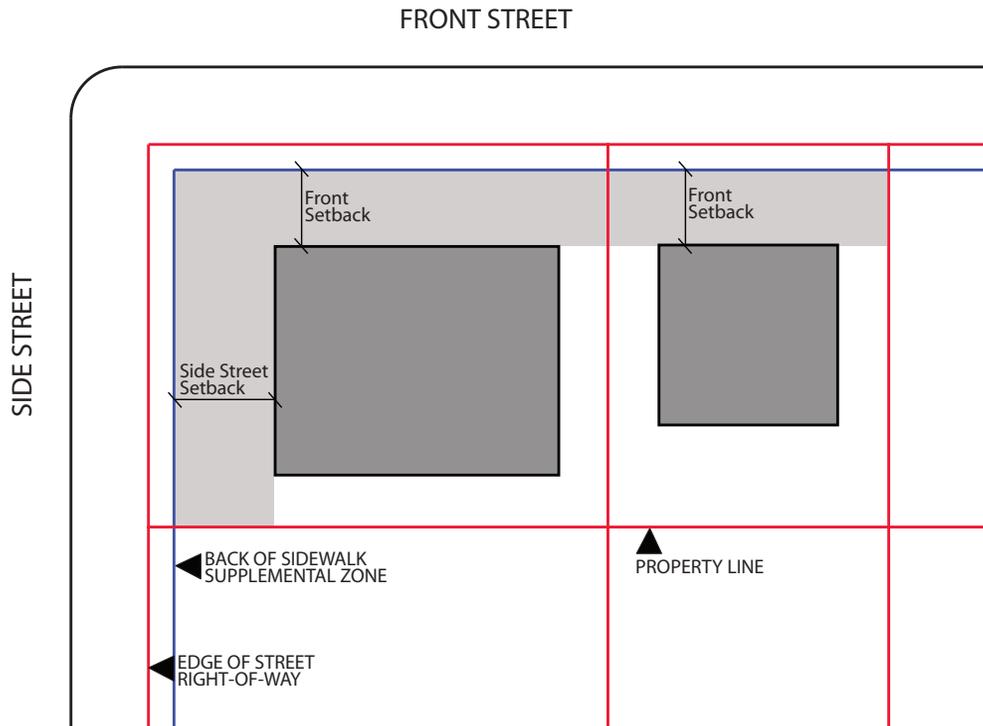
Front Setback areas must be designed according to the regulations set forth in the Complete Street Program. The minimum and maximum values for the setback dimensions are listed in section 7.704 (c), Front Setback within the Regulations Summary Chart.

#### **2. Side Street Setback**

The Side Street Setback is measured as the permitted distance from the property line along a Side Street to the side street building façade as shown in Figure 3.

Side Street Setback areas must be designed according to the regulations set forth in the Complete Street Program. The minimum and maximum values for the setback dimensions are listed in section 7.704 (c), Side Street Setback within the Regulations Summary Chart.

**Figure 3: Example of Front Setback and Side Street Setback Measurements**



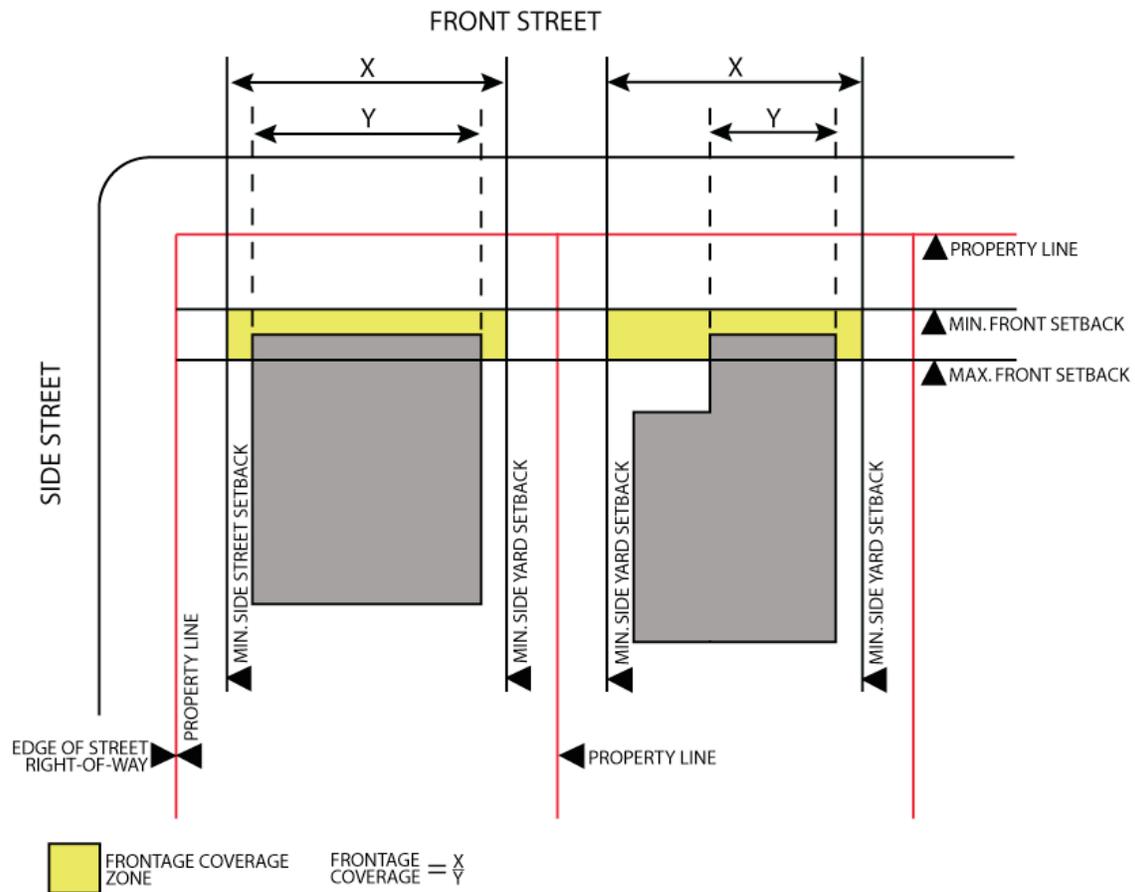
### 3. Side Yard Setback

The Side Yard Setback is the required minimum distance from the side property line to the primary building façade as shown in Figure 4. The minimum required values for the setback dimensions are listed in section 7.704 (c), Side Yard Setback within the Regulations Summary Chart.

### 4. Frontage Coverage

Frontage Coverage is the minimum percentage of length of the frontage coverage zone that shall be occupied by the front façade(s) of the primary building(s). The frontage coverage zone is defined as the space between the minimum and maximum Front Setback lines and the minimum Side Setback lines as shown in Figure 4. Minimum Frontage Coverage percentages are listed in section 7.704 (c), Frontage Coverage in the Regulations Summary Chart.

**Figure 4: Example of Side Yard Setback and Frontage Coverage Measurements**



### 5. Rear Setback

The Rear Setback is the required minimum distance from the rear property line to the primary building façade. The minimum required values for the setback dimensions are listed in section 7.704 (c), Rear Setback within the Regulations Summary Chart.

## 6. Alleyway Setback

The Alleyway Setback is the required minimum distance from an Alleyway edge-of-pavement to any building which backs up to an Alleyway. The minimum required values for the setback dimensions are listed in section 7.705 (2), Alleyway Setback within the Alleyway Type Table.

## 7. Encroachments

In Front and Side Street Setback areas, awnings, entrance porticos, porches, stoops, stairs and entrance overhangs are permitted to encroach within the required Front Setback or Side Street Setback a maximum of sixty (60) percent of the setback zone depth.

### **7.708 Height**

#### 1. Primary Building

Height for inhabited structures is regulated by the number of floors permitted. New structures must adhere to the maximum floors allowed as listed in section 7.704 (d), Primary Building Height in the Regulations Summary Chart. Number of floors shall be defined as all inhabitable floors located above the average finished grade and shall not include portions of the building substantially submerged or partly submerged below grade (i.e.: basements or underground parking).

#### 2. Accessory Buildings

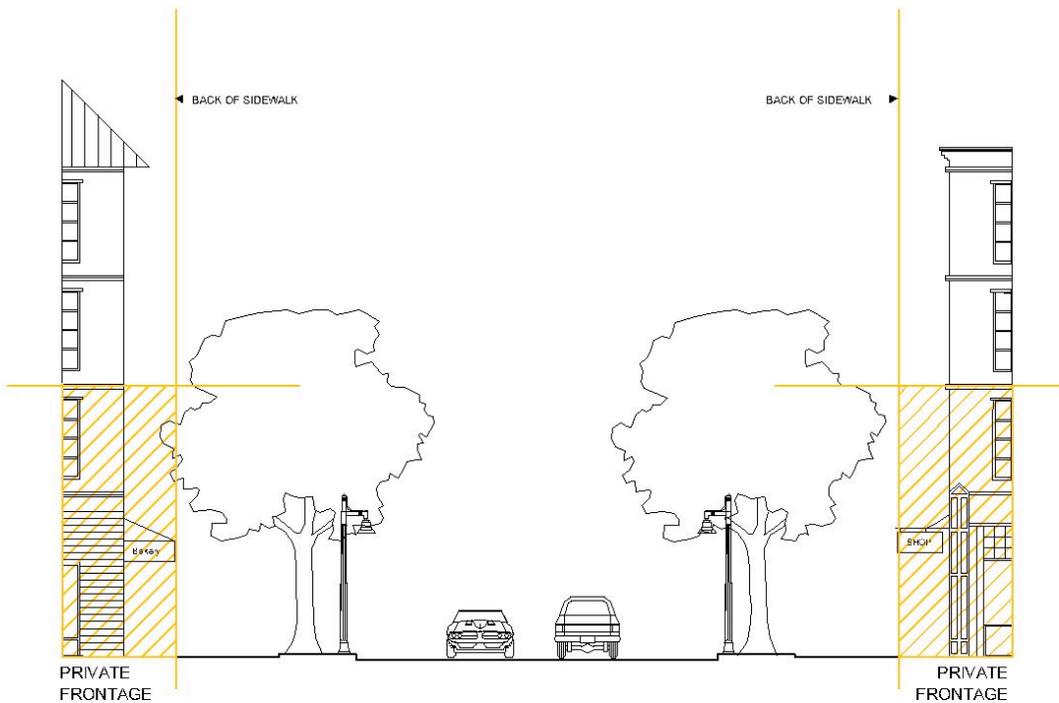
Height for accessory and non-inhabited structures (i.e.: parking structures) is regulated by total feet permitted, but shall never be taller than the primary building associated with the accessory building.

### **7.709 Frontage Types**

Private Frontage is defined as the area extending from a building façade to the edge of the right-of-way. A property's permitted Frontage Type is determined by the District Zone as specified in section 7.704 (e), Frontage Type within the Regulations Summary Chart. Any permitted Frontage Type for a District Zone is allowed either alone or in combination with any other permitted Frontage Type.

In Figure 5 below, the Private Frontages are represented by the hatched area located on private property (typically behind the public sidewalk) and the first floor of the building located along the Street Frontage.

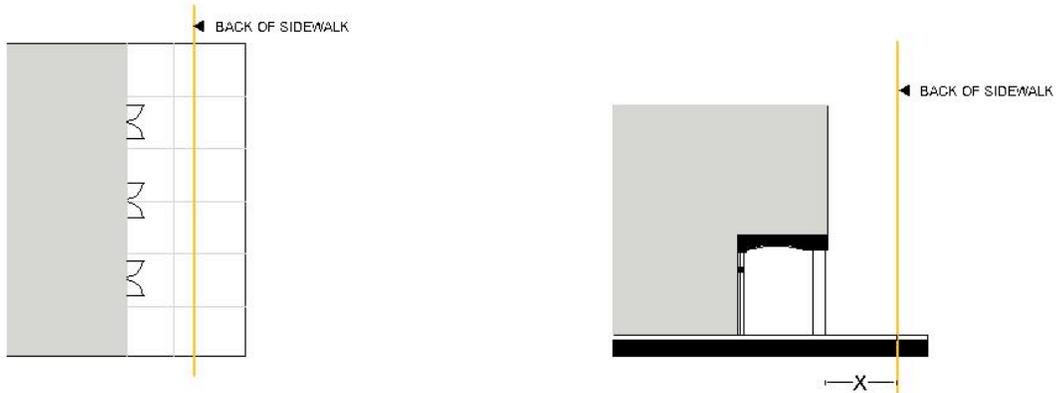
**Figure 5: Example of Private Frontage Requirements**



## 1. Arcade

An Arcade Frontage is defined as one in which the façade is designed as a colonnade that overlaps a sidewalk designed as part of the Private Frontage as shown in Figure 6, below. This type of Frontage is conventional for retail use. The Arcade shall be no less than ten (10) feet wide and shall not extend further than the Private Frontage. Within the Arcade Frontage, storefronts shall meet the requirements of the Storefront Frontage

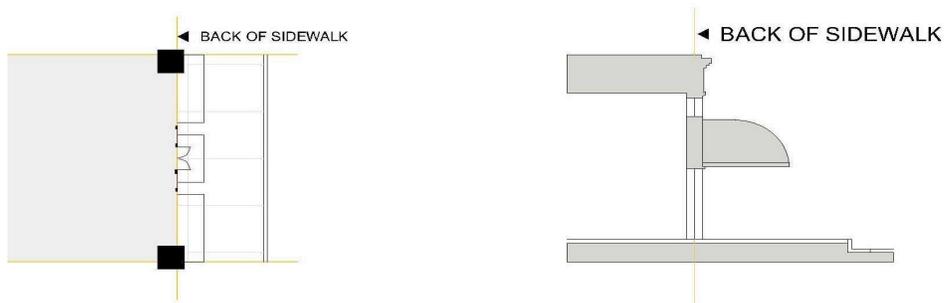
**Figure 6: Example of Arcade Frontage Requirements**



## 2. Storefront

A Storefront Frontage is defined as one in which the Frontage is aligned close to the Frontage line with the building entrance at sidewalk grade as shown in Figure 7, below. This type is conventional for retail use. It may also have an awning that may overlap the sidewalk to the maximum extent possible.

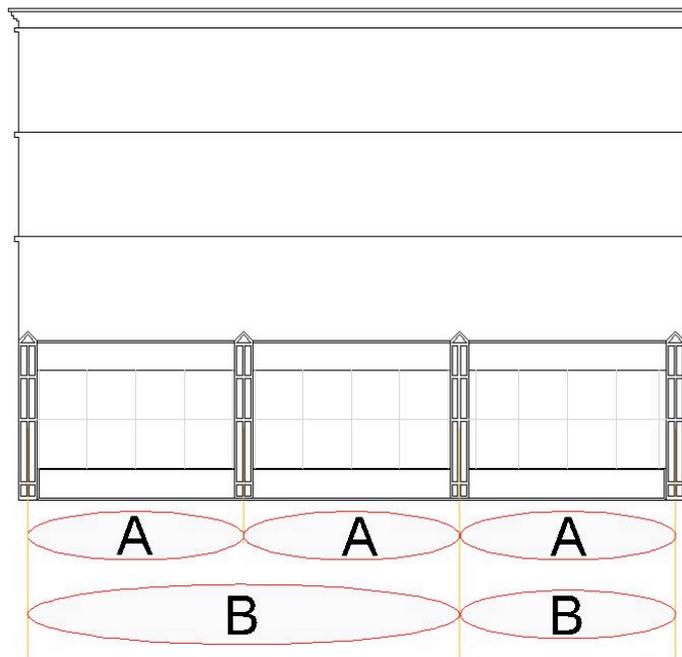
**Figure 7: Example of Storefront Frontage Requirements**



The following standards apply to the Storefront Frontage:

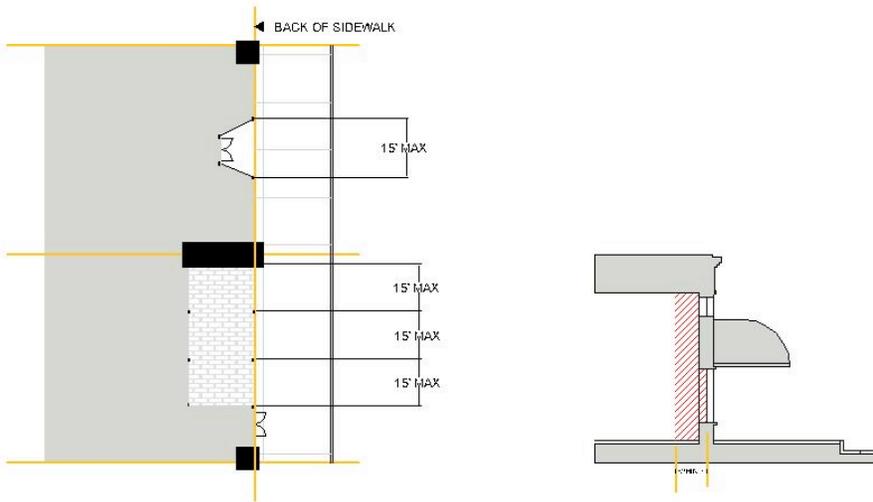
- (a) Each storefront shall include at least one (1) entrance directly accessible from the sidewalk.
- (b) Each storefront shall have clear-glass display windows framed within columns and base.
- (c) A minimum three (3) foot zone behind the window shall provide an unobstructed view for the establishment's goods and services.
- (d) Storefront and awning design shall vary from storefront to storefront.
- (e) Storefronts shall be built to the back of the maximum allowable sidewalk zone and any allowable setback areas shall be treated as extensions of the sidewalk.
- (f) A maximum storefront Frontage of fifty (50) feet is allowed adjacent to Street Frontage (s) as represented by the measurement of A in Figure 8, below.
- (g) A maximum tenant frontage of one-hundred fifty (150) feet is allowed adjacent to a Street Frontage(s) as represented by the measurement of B in Figure 8, below.

**Figure 8: Example of Maximum Storefront and Tenant Frontage Requirements**



- (h) Articulation elements (i.e.: storefront column, pilaster, pier or frontage elevation change) shall be used to break up the appearance of storefronts as shown in Figure 9, below.
- (i) Recessed entrances shall be permitted with a maximum width of fifteen (15) feet as shown in Figure 9, below.

**Figure 9: Example of Articulation and Recessed Entrance Requirements**

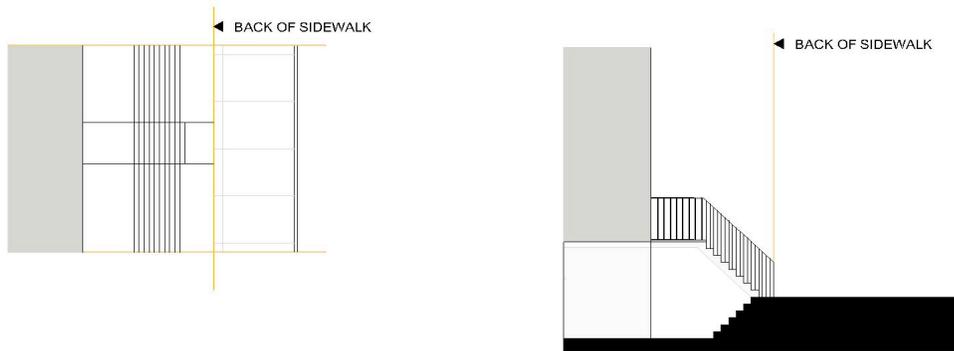


- (j) A minimum ceiling height, measured from finished floor elevation to the ceiling slab, of fourteen (14) feet shall be provided along all Street Frontages.

### 3. Terrace

A Terrace Frontage is defined as one wherein the Façade is set back from the frontage line by an elevated terrace or a light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment as shown in Figure 10, below. With the design of a light court, it also allows direct access to a basement level from the sidewalk.

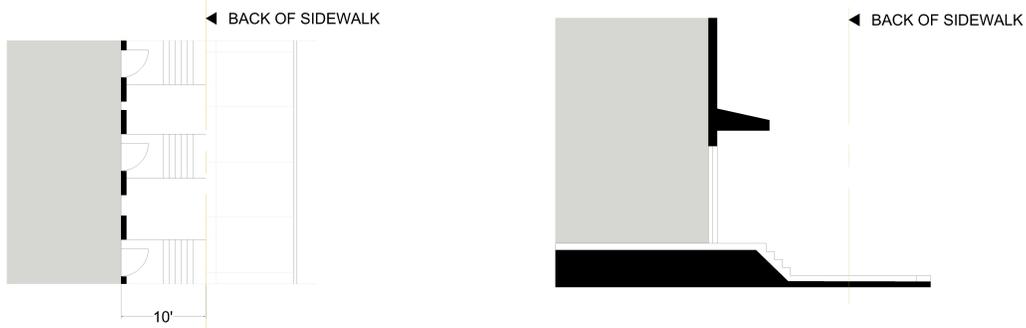
**Figure 10: Example of Terrace Frontage Requirements**



#### 4. Stoop

A Stoop Frontage is defined as one wherein the façade is aligned close to the Frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair or landing. This type is used for ground floor residential treatments as shown in Figure 11, below.

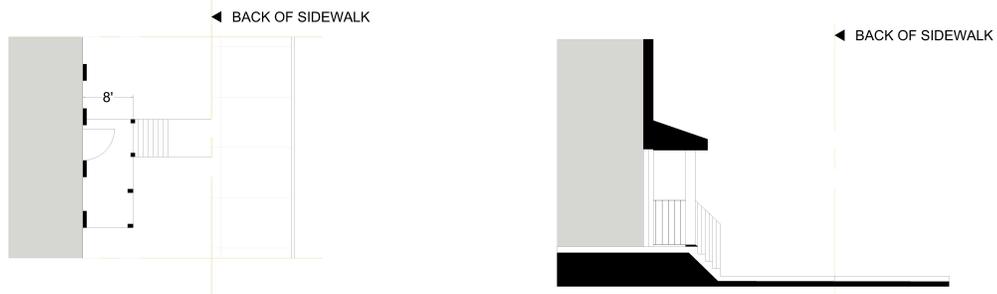
**Figure 11: Example of Stoop Frontage Requirements**



#### 5. Porch

A Porch Frontage is defined as one wherein the façade is set back from the frontage line with an attached porch. Where used, a Porch shall be no less than eight (8) feet in depth as shown in Figure 12, below.

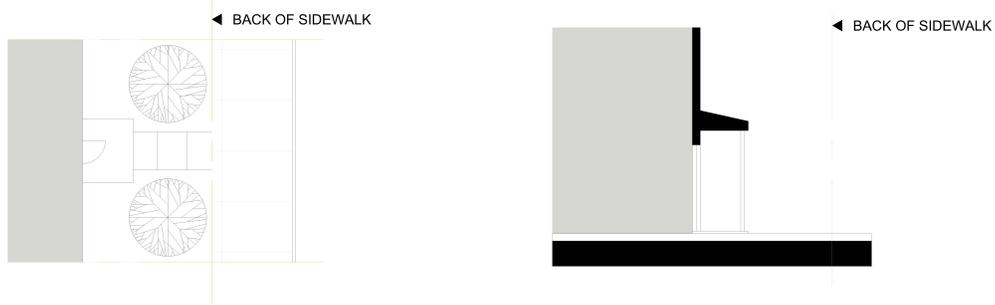
**Figure 12: Example of Porch Frontage Requirements**



#### 6. Common Yard

A Common Yard Frontage is defined as one wherein the façade is set back substantially from the frontage line. The Common Yard is visually continuous with adjacent yards, supporting a common landscape as shown in Figure 13, below.

**Figure 13: Example of Common Yard Frontage Requirements**



### **7.710 Building Types**

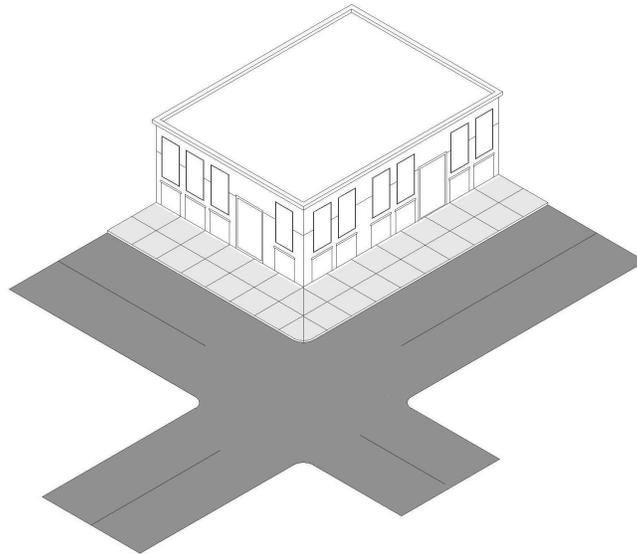
The regulations set forth in this section deal with building massing and composition according to Building Type. A Building Type is defined as a typical configuration of a building's plan layout for intended uses and its resulting three-dimensional building mass. Some Building Types are specialized for a particular use and configuration, while others can be readily modified for other uses. Each Building Type has an accompanying illustration that is provided as a visual aid and does not represent a required design or configuration.

A building's mass can be arranged and composed to affect its scale and character within the Ridgewalk District as seen by both pedestrians on foot and people within automobiles. In having the massing and composition typical of a 'new town' character, they inherently can be designed at a pedestrian scale. At the larger end of the scale, taller and longer buildings shall have intermediate architectural articulations that break down the horizontality and verticality of surfaces and masses to a scale that becomes pedestrian friendly.

#### **1. Commercial Block**

A Commercial Block building is a building designed for occupancy by retail, service, dining, office, and/or lodging uses on the ground floor, with the upper floors configured for those uses or residential uses as permitted in Article 5, Use Categories within the Ridgewalk District. An example of a Commercial Block Building is shown in Figure 14.

**Figure 14: Example of Commercial Block Building**



The following standards apply to the design of a Commercial Block building:

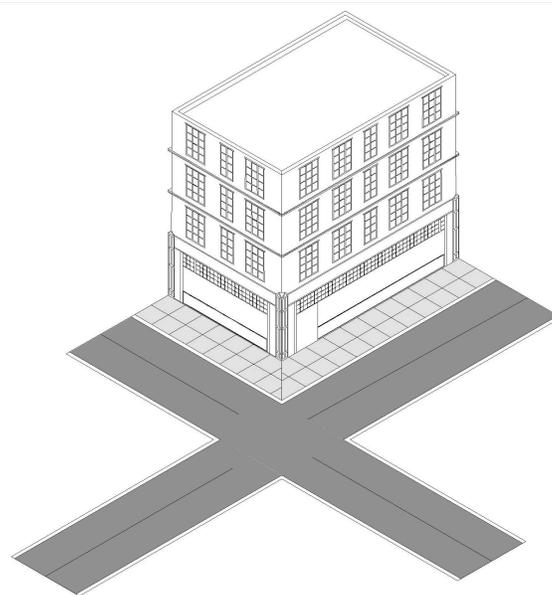
- (a) The main entrance to the building and any entrances to ground floor businesses shall be directly accessed from and face the street. Entrances shall be prominent and easy to identify.

- (b) When a Commercial Block building has visibility from multiple Street Frontages, all Frontages shall be designed equal to the front façade in quality of finishes and articulation.
- (c) Commercial Block buildings shall not orient to parking lots at the expense of street frontages.

## 2. Stacked Dwelling

A Stacked Dwelling building is a multi-story building in which dwellings are stacked vertically as well as horizontally with or without limited retail uses as permitted in Article 5, Use Categories within the Ridgewalk District. An example of a Commercial Block Building is shown in Figure 15.

**Figure 15: Example of Stacked Dwelling Building**



The following standards apply to the design of a Stacked Dwelling building:

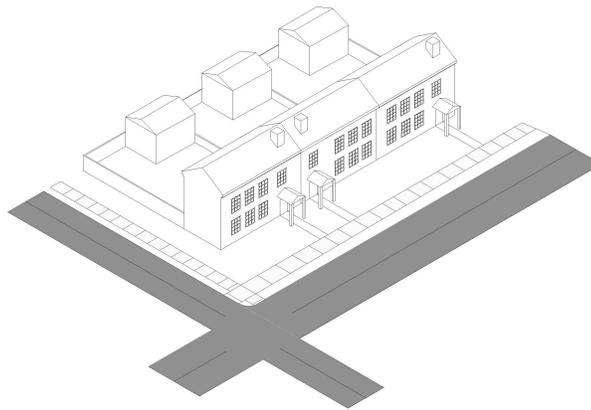
- (a) The main entrance to the building and any entrances to ground floor residential units or retail spaces shall be directly accessed from the street. Ground floor residential units shall be designed using the Stoop Frontage, while any ground floor retail use is required to use a Storefront Frontage.
- (b) When a Stacked Dwelling building has visibility from multiple Street Frontages or Open Space Frontages, all Frontages shall be designed equal to the front façade in quality of finishes and articulation.
- (c) Stacked Dwelling buildings shall not orient to parking lots at the expense of street or Open Space frontages.
- (d) To avoid monotony on a building scale, identical unit facades and/or unit plans within one development shall not be excessively replicated. Different facades shall be designed to

provide visual interest and shall be arranged to mediate scale differences between adjoining building and blocks.

### 3. Rearyard

A Rearyard is a building that occupies the full frontage, leaving the rear of the lot as the sole yard. This Building Type is a more urban type which steadily defines the Public Realm. Specific types of a Rearyard building include rowhouses, townhouses and live-work units. An example of Rearyard Buildings is shown in Figure 16.

**Figure 16: Example of Rearyard Buildings**



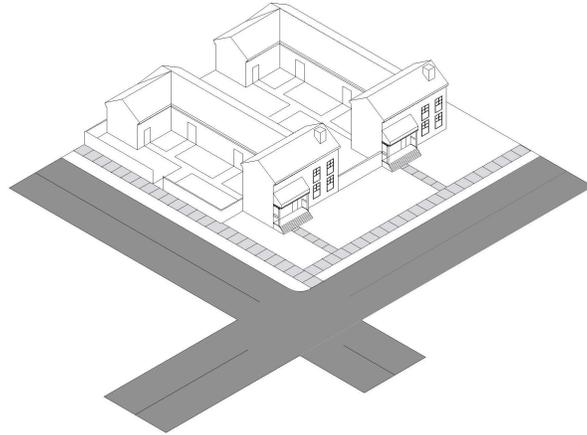
The following standards apply to the design of a Rearyard building:

- (a) The main entrance to each unit shall be directly accessed from and face the street. Each entrance shall convey a clear residential character, be prominent and easy to identify.
- (b) When a Rearyard building has visibility from multiple Street Frontages or Open Space Frontages, all Frontages shall be designed equal to the front façade in quality of finishes and articulation.
- (c) To avoid monotony on a building scale, identical unit facades and/or unit plans within one development shall not be excessively replicated. Different facades shall be designed to provide visual interest and shall be arranged to mediate scale differences between adjoining building and blocks.
- (d) Each Rearyard building shall provide a useable at-grade outdoor yard behind the building at no less than three hundred (300) square feet with one (1) minimum dimension twenty (20) feet.

#### 4. Sideyard

A Sideyard is a building that occupies one side of the lot with the setback to the other side. The visual opening of the side yard on the street frontage causes this building to appear freestanding. If the adjacent building is similar with a blank party wall, the yard can be quite private. Specific types of a Sideyard building include a Charleston single house and a zero-lot line house. An example of Sideyard Buildings is shown in Figure 17.

**Figure 17: Example of Sideyard Buildings**



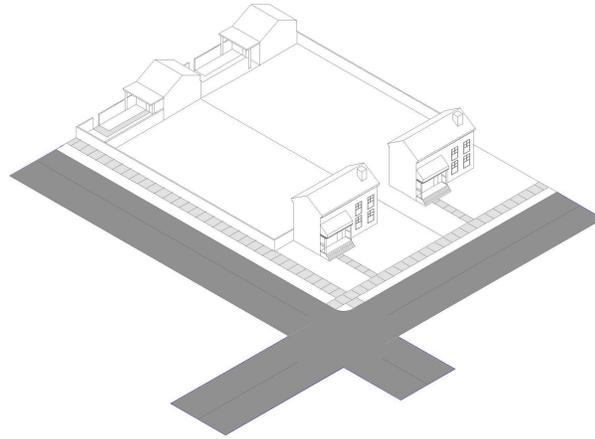
The following standards apply to the design of a Sideyard building:

- (a) The main entrance to each unit shall be accessed from and face the street. Each entrance shall convey a clear residential character, be prominent and easy to identify.
- (b) When a Sideyard building has visibility from multiple Street Frontages or Open Space Frontages, all Frontages shall be designed equal to the front façade in quality of finishes and articulation.
- (c) To avoid monotony on a building scale, identical unit facades and/or unit plans within one development shall not be excessively replicated. Different facades shall be designed to provide visual interest and shall be arranged to mediate scale differences between adjoining building and blocks.
- (d) Each Sideyard building shall provide a useable at-grade outdoor yard to the side of the building at no less than two hundred (200) square feet with one (1) minimum dimension of ten (10) feet.
- (e) When located in an active Sideyard, a driveway shall be integrated into the design of the yard through the use of reduced paved area, permeable paving materials or comparable surface area that provides a landscaped aesthetic and usable outdoor space.
- (f) Windows facing this opposing yard should be relatively small and high, providing light and ventilation while allowing for privacy.

## 5. Edgeyard

An Edgeyard is a building that occupies the center of its lot with setbacks on all sides. This is the least urban of the Building Types as the front yard sets it back from the frontage. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and may allow an Accessory Structure. An example of Edgeyard Buildings is shown in Figure 18.

**Figure 18: Example of Edgeyard Buildings**



The following standards apply to the design of an Edgeyard building:

- (a) The main entrance to each unit shall be accessed from and face the street. Each entrance shall convey a clear residential character, be prominent and easy to identify.
- (b) When an Edgeyard building has visibility from multiple Street Frontages or Open Space Frontages, all Frontages shall be designed equal to the front façade in quality of finishes and articulation.
- (c) To avoid monotony on a building scale, identical unit facades and/or unit plans within one development shall not be excessively replicated. Different facades shall be designed to provide visual interest and shall be arranged to mediate scale differences between adjoining building and blocks.

### **7.710 Parking Standards**

The regulations set forth in this section contain development standards and design guidelines to ensure that parking throughout the Ridgewalk District is accessible, accommodates all land uses and supports the intended outcomes.

#### 1. Surface Parking Types

- (a) Exposed – A surface parking lot that fully or partially extends to a parcel's street frontage (s) and is not sited behind building(s) located along the parcel's street frontage(s).

- (b) *Wrapped* – A surface parking lot where a building(s) is located between the parcel's street frontage(s) and the parking lot. Except for driveway access, the parking lot is sited behind the buildings and no portion of the parking lot is visible from the street.

## 2. Structured Parking Types

- (a) *Garage*
- (b) *Wrapped* – An above ground parking structure where non-parking uses are integrated into the building along the parcel's street frontage(s).
- (c) *Podium* – A parking structure built below the main building mass and partially submerged underground.
- (d) *Underground* – A parking structure that is fully submerged underground and is not visible from the street.

## 3. Parking Standards

- (a) Whenever possible, shared parking facilities are encouraged between mixed-uses within a single development and/or between adjacent developments.
- (b) Maximum parking requirements apply only to surface parking lots. Parking spaces provided in excess of the Maximum Parking Ratios chart shall be in the form of structured parking.
- (c) On-street parking spaces which adjoin a ground floor may be counted towards meeting the parking requirements for that use.
- (d) Maximum Parking Ratios shall refer to the City's general parking standards.
- (e) Surface parking lots built adjacent to a street frontage shall provide a decorative wall or fence maximum of forty (40) inches in height along the entire frontage to define the edge of the parking lot.
- (f) Surface parking lots shall provide clear pedestrian circulation routes to building entrances and sidewalks. These routes shall include minimum sidewalks five (5) feet in width and be separated from vehicular areas by curbing and landscaping.
- (g) Access to all parking facilities shall be provided from Alleyways whenever possible.
- (h) Single-family detached, attached and live-work units shall provide a minimum of two (2) off-street parking spaces per unit. These spaces shall be provided in the form of a garage or a covered carport and shall be accessed from an Alleyway where possible. If Alleyway access is not possible, the garage or carport shall be setback from the front façade of the house a minimum of 60% of the depth of the unit.