

# City of Woodstock

COMMUNITY DEVELOPMENT DEPARTMENT

PLANNING, DESIGN & SUSTAINABILITY

770.592.6050

To: Mayor and City Council  
From: Brian Stockton  
Date: 09.27.2012  
RE: Z#056-12 Right of Way Rezoning

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## Case Information:

Case:	Z#056-12
Applicant:	City of Woodstock, Georgia
Land Lots:	853, 854, 875 and 876
Parcels:	None assigned until after ROW abandonment
Tract 1 Area:	± 4.71 Acre (8.6.12 Point to Point Land Surveyors)
Tract 2 Area:	± 1.36 Acre (8.6.12 Point to Point Land Surveyors)
Total Area:	± 6.02 Acre (8.6.12 Point to Point Land Surveyors)
Location:	Woodstock Parkway and Rope Mill Road
Property Owner(s):	City of Woodstock, Georgia
Current Zoning:	Unzoned (Right of Way)

## Applicant's Request:

The City of Woodstock, Georgia seeks to rezone ±6.02 acres of Right of Way to the LI (Light Industrial) with Technology Park Overlay District Zoning with conditions.

## Background:

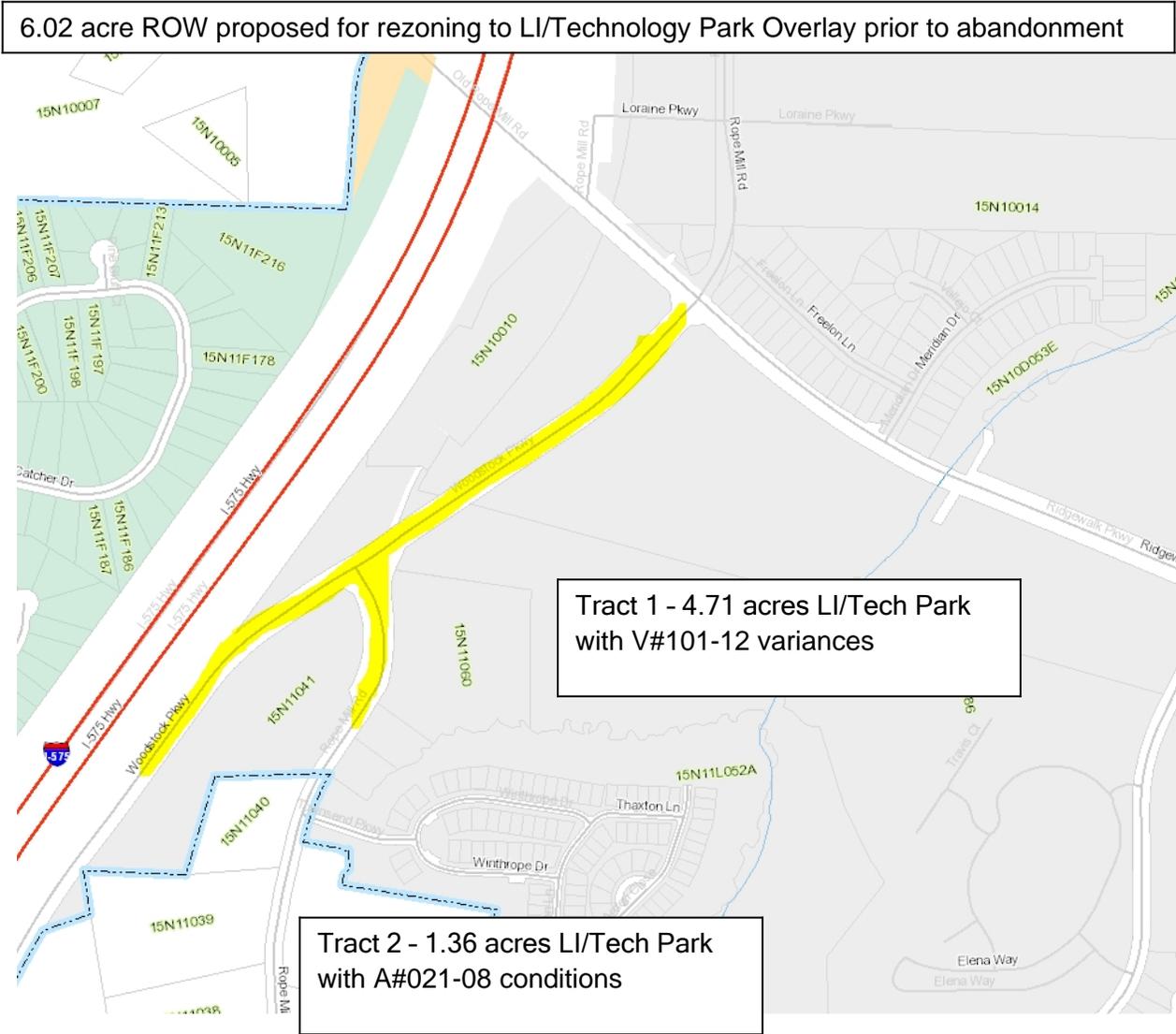
The subject property is City of Woodstock Right of Way (ROW) depicted on the drawing (Exhibit "A") prepared by Point to Point Land Surveyors as Tract 1 of ±4.71 acres and Tract 2 of ±1.36 acres. The 6.02 acres of ROW is soon to be abandoned to the abutting property owners in a property swap which will accommodate the relocation of Woodstock Parkway around the Outlet Shoppes of Atlanta, currently under construction. The City seeks to rezone the above described ROW to LI with Technology Park Overlay with conditions compatible to the abutting property to which the right of way will ultimately be abandoned, to ensure consistent application of

development regulation within each of the two identified tracts. The City proposes to include in the rezoning of Tract 1 all of the variances granted the abutting property in V#101-12 and to include in the rezoning of Tract 2 all of the conditions of zoning of annexation case A#021-12 granted the property abutting Tract 2.

**Surrounding Land Uses:**

NORTH: LI/with Technology Park  
EAST: LI/with Technology Park  
WEST: LI/with Technology Park  
SOUTH: LI/with Technology Park

**Zoning Map:**



## **DEVELOPMENT PROCESS COMMITTEE**

At the September 12, 2012 meeting the DPC voted to recommend approval of the requested right of way rezoning with the following stipulations which have been made a part of the attached Rezoning Ordinance Z#056-12 (Exhibit "B")

- 1) All Variances granted as part of V#101-11 shall be applicable to all property indicated as Tract 1 of  $\pm 4.71$  acres on the plan prepared by Point to Point Land Surveyors and dated 8.6.12.
- 2) All Conditions Zoning of Annexation Case A#021-08 shall be applicable to all property indicated as Tract 2 of  $\pm 1.36$  acres on the plan prepared by Point to Point Surveyors and dated 8.6.12.